



Smiggins Hotel

Lot 1 DP1175034
18 Corroboree Road,
Smiggin Holes, NSW 2624

BCA STATEMENT Access Ramp

REPORT NO: 23007

PREPARED FOR: Belinda Shore
Smiggins Hotel Manager

PREPARED BY: MS | Complete Certification Pty Ltd | BCA Consulting

1. Introduction

This statement has been prepared to provide comments on BCA compliance with respect to the plans provided for the addition of an access ramp at Smiggins Hotel.

A site inspection of the building was undertaken on the 17 May 2023.

2. Description of Arrangement

The Smiggins Hotel is located within Perisher Village at 18 Corroboree Rd, Smiggin Holes.



The owners of the Hotel propose to install a compliant access ramp and associated infrastructure at the Corroboree Rd entrance to the building.

REVISION STATUS				
REVISION	DATE	STATUS	WRITTEN	CHECKED
A	05/09/2023	Issued to Belinda Shore	GH	MS

COMMERCIAL IN CONFIDENCE

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PROPOSED ACCESSIBLE RAMP LOCATION



3. Australian Standard (AS) 1428.1 Compliance Requirements

3.1 – NCC 2022 – Part D4: Access for people with disability

AS Clause	Requirements	Comment
10.1 General - Walkways, Ramps and Landings)	<p>Walkways, ramps and landings that are provided on a continuous accessible path of travel shall be as follows:</p> <p>(a) Sharp transitions shall be provided between the planes of landings and ramps, as shown in Figure 14.</p> <p>(b) Landings shall be provided at all changes in direction in accordance with Clause 10.8.</p> <p>(c) Landing or circulation space shall be provided at every doorway, gate, or similar opening.</p> <p>(d) For walkways and landings having gradients in the direction of travel shallower than 1 in 33, a camber or crossfall shall be provided for shedding of water and shall be no steeper than 1 in 40, except that bitumen surfaces shall have a camber or crossfall no steeper than 1 in 33.</p>	<p>Reference is made to the plans provided in appendix 1</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Not applicable</p>

10.3 Ramps	<p>Ramps shall comply with the following:</p> <p>(a) The maximum gradient of a ramp exceeding 1900 mm in length shall be 1 in 14.</p> <p>(b) The gradient of a ramp shall be constant throughout its length with a maximum allowable tolerance of 3% provided no section of the ramp is steeper than 1 in 14.</p> <p>(c) Ramps shall be provided with landings, as specified in Clause 10.8, at the bottom and at the top of the ramp and at intervals not exceeding the following:</p> <ul style="list-style-type: none"> (i) For ramp gradients of 1 in 14, at intervals not greater than 9 m. (ii) For ramp gradients steeper than 1 in 20, at intervals not greater than 15 m. (iii) For ramp gradients between 1 in 14 and steeper than 1 in 20, at intervals that shall be obtained by linear interpolation. <p>(d) Where ramps are constructed with a change in direction, the angle of approach shall create a 90° angle to the line of transition between the ramp surface and the landing surface, as shown in Figure 13.</p> <p>(e) Ramps shall have a handrail complying with Clause 12 on each side of the ramp, as shown in Figure 14. NOTE: Figures 15(A) and 15(B) show examples of suitable ramp handrail terminations.</p> <p>(f) Where the intersection is at the property boundary, the ramp shall be set back by a minimum of 900 mm so that the handrail (complying with Clause 12) and TGSIs do not protrude into the transverse path, as shown in Figure 16. TGSIs shall be installed in accordance with AS 1428.4.1.</p> <p>(g) Where the intersection is at an internal corridor, the ramp shall be set back by a minimum of 400 mm so that the handrail complying with Clause 12 does not protrude into the transverse path of travel as shown in Figure 17.</p> <p>(h) The handrail shall extend a minimum of 300 mm horizontally past the transition point at the top and bottom of the ramp except where the inner handrail is continuous at an intermediate landing.</p> <p>(i) Ramps and intermediate landings shall have kerbs or kerb rails on both sides that comply with the following:</p> <ul style="list-style-type: none"> (i) The minimum height above the finished floor shall be 65 mm. (ii) The height of the top of the kerb or kerb rail shall not be within the range 75 mm to 150 mm above the finished floor, as shown in Figure 18. 	<p>Noted</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Not applicable</p> <p>Not applicable</p> <p>Complies</p> <p>Complies</p>
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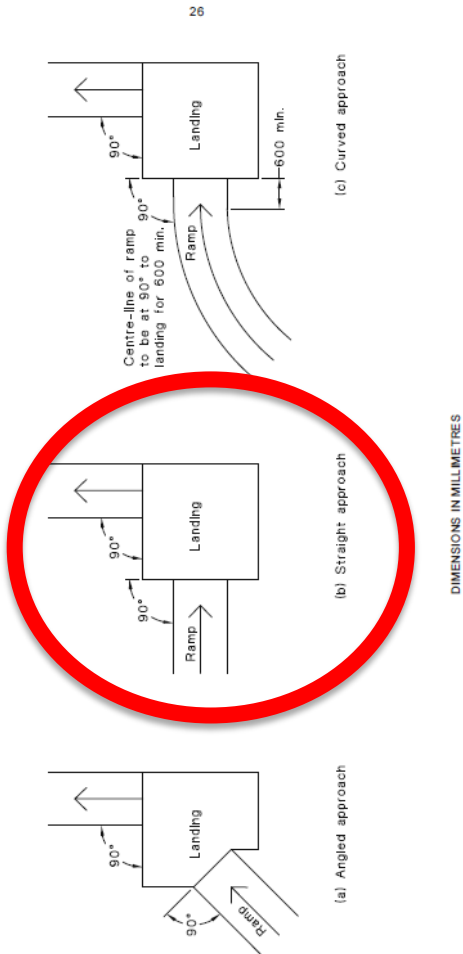
(iii) There shall be no longitudinal gap or slot greater than 20 mm in the kerb or kerb rail within the range 75 mm to 150 mm above the finished floor.

NOTES:

- 1 For details on kerbs and kerb rails, see Figure 18.
- 2 For location of kerb or kerb rail, see Figure 19.
- 3 Examples of kerb rail configuration are shown in Appendix A.

- (j) Kerbs or kerb rails shall —
- (i) be located so that the ramp-side face is either flush with the ramp-side face of the handrail or no greater than 100 mm away from the ramp-side face of the handrail, as shown in Figure 19;
 - (ii) where the handrail is supported on a vertical post, the height of the top of the kerb or kerb rail shall be not less than 150 mm above the finished floor, as shown in Figures 19(a), 19(b) or 19(c); and
 - (iii) where the kerb is at a height of 65 mm to 75 mm, the support posts shall be set back a minimum of 200 mm from the face of the kerb or kerb rail, as shown in Figure 19(d).

Complies



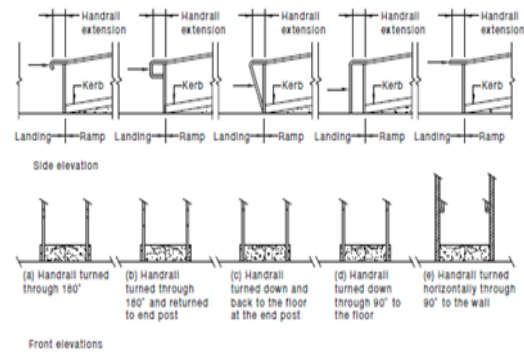


FIGURE 15(A) RAMP HANDRAILS—EXAMPLES OF HANDRAIL TERMINATIONS

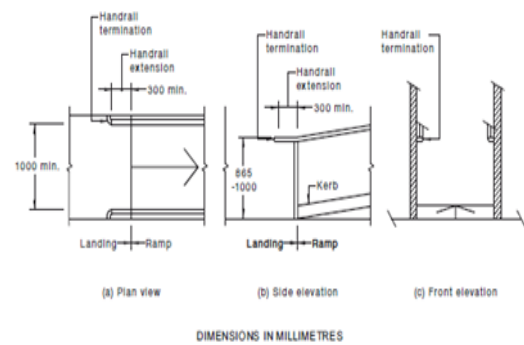
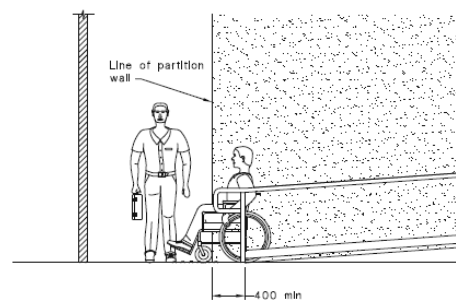


FIGURE 15(B) RAMP HANDRAILS—DETAIL FOR HANDRAILS TERMINATED BY TURNING HORIZONTALLY THROUGH 90° TO THE WALL



SECTIONAL ELEVATION A-A

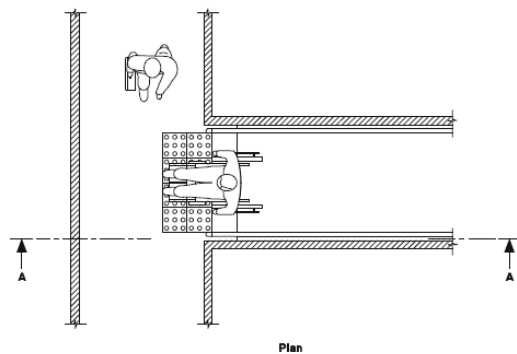


FIGURE 17 LOCATION OF RAMP TO PREVENT PROTRUSION OF HANDRAILS INTO A TRANSVERSE PATH OF TRAVEL OTHER THAN AT BOUNDARIES

Complies

4. Summary

Based on the information provided, it is considered that a compliant access ramp can be achieved if constructed in accordance with the plans provided.

We trust this statement is suitable for your purposes however if you have any queries or wish to discuss, please contact the undersigned.

REFERENCED DOCUMENTATION

The following documentation has been reviewed, referenced and/or relied upon in the preparation of this report:

- Building Code of Australia 2022.
- Architectural plans, undated.
- Australian Standard 1428.1.

Limitations & Exclusions

This report is limited to:

- Addressing the significant non-compliances with Deemed-to-Satisfy provisions of the Building Code of Australia other than Part C2D2 of the NCC. The current Building Code of Australia (BCA) will be used as a guide when assessing the building. However, it must be noted that if the building was originally constructed under superseded building requirements and legislation, it would be unreasonable and impractical to expect the building to fully comply with the current prescriptive requirements of the BCA.
- No inspection of the premises was undertaken.

The following items are outside the scope of this report:

- Access and facilities for people with disabilities has only been addressed where provided. The lodge was constructed prior to the current BCA and therefore does not comply. Upgrades to comply with the BCA and the Disability Discrimination Act 1992 (DDA) are outside the scope of this report because of the complexities associated with the terrain, Alpine conditions, transport, the requirements of the Environmental Planning and Assessment Act and the Environmental Planning and Assessment Regulation. It is recommended that compliance with these acts and regulations be discussed with the Department of Planning and an access consultant should major upgrade works be required.
- Reporting on hazardous materials, OH&S matters or construction site contamination.
- Assessment of any structural elements or geotechnical matters relating to the building, including any structural or other assessment of the existing fire resistant levels of the building.
- Consideration of any fire services operations (including hydraulic, electrical or other systems).
- Assessment of plumbing and drainage installations, including stormwater.
- Assessment of mechanical plant operations, electrical systems or security systems.
- Heritage significance.
- Consideration of energy or water authority requirements.
- Consideration of local planning policies.
- Environmental, planning or heritage issues.
- Requirements of statutory authorities.
- Pest inspection or assessment of building damage caused by pests.
- Energy efficiency Part J of NCC.
- This consent to assignment report is not a pre-purchase inspection of the property undertaken to AS4349 - Pre-Purchase Inspection of Residential Buildings.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

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Yours Sincerely

A handwritten signature in black ink, appearing to read 'MStewart'.

Matthew Stewart

Accredited Certifier
Accreditation No. BPB1856

05/09/2023.

APPENDIX 1 - Plans

